



18

## Planning Commission Staff Report

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** STEPHANIE BUBENHEIM, PLANNER II *SB*  
(480) 503-6625, STEPHANIE.BUBENHEIM@GILBERTAZ.GOV

**THROUGH:** AMY TEMES, INTERIM PRINCIPAL PLANNER *AT*  
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

**MEETING DATE:** JANUARY 9, 2019

**SUBJECT:** S18-06, CONTRERAS FARMS: REQUEST TO APPROVE THE PRELIMINARY PLAT AND OPEN SPACE PLAN FOR CONTRERAS FARMS BY VIP HOMES, FOR 13 SINGLE FAMILY HOME LOTS (LOTS 1-13) ON APPROXIMATELY 9.04 ACRES OF REAL PROPERTY GENERALLY LOCATED EAST OF THE NORTHEAST CORNER OF HIGLEY AND MEWS ROADS IN THE SINGLE FAMILY-15 (SF-15) ZONING DISTRICT.

**STRATEGIC INITIATIVE:** Community Livability

This project will allow for low density residential development within the Santan Character Area.

### **RECOMMENDED MOTION**

Approve the Findings of Fact and S18-06, Contreras Farms: Preliminary Plat and Open Space Plan for Contreras Farms by VIP Homes, for 13 homes lots on approximately 9.04 acres of real property generally located east of the northeast corner of Higley and Mews Roads in the Single Family-15 (SF-15) zoning district, subject to conditions.

### **APPLICANT/OWNER**

Company: Bowman Consulting Group  
Name: Nathan Larson  
Address: 1295 W. Washington St. Ste. 108

Company: VIP Homes  
Name: Evelyn Peterson  
Address: 3048 E. Baseline Rd. Ste. 102

Tempe, AZ 85281  
 Phone: 480-629-8830  
 Email: nlarson@bowmancg.com

Mesa, AZ 85204  
 Phone: 480-892-1654  
 Email: evelyn@viphomes.com

## **BACKGROUND/DISCUSSION**

### **History**

<b>Date</b>	<b>Description</b>
<i>May 8, 2007</i>	Town Council approved A06-99 adopting Ordinance No. 1934 approving the annexation of approximately 25 acres into the Town of Gilbert including the subject site.
<i>March 25, 2008</i>	Town Council approved GP07-13 adopting Resolution No. 2872 for a Minor General Plan Amendment to change the land use classification of 20.10 acres from Residential > 0-1 DU/Acre to Residential > 1-2 DU/Acre.
<i>March 25, 2008</i>	Town Council approved Z07-122 adopting Ordinance No. 2095 rezoning 25.1 acres from Maricopa County Rural-43 to Single Family-35 (SF-35) and Single Family-15 (SF-15).
<i>December 5, 2018</i>	Planning Commission reviewed S18-06, Contreras Farms as a Study Session item.

### **Overview**

*At the December 5, 2018 Study Session Contreras Farms was brought forth as a 10.07 acre site with a 14 lot preliminary plat. It has since been determined that the existing single family residential home will not be a part of the subdivision due to sewer hook-up requirements, and will be shown as an exception on the preliminary plat (previously shown as lot 14).*

The 9.04 gross acre subject site was annexed into the town on May 8, 2007 as part of larger area east of the southeast corner of Higley and Riggs Roads. The subject site was conventionally rezoned from Maricopa County Rural-43 to Single Family-15 zoning district in 2008. Currently the site consists of 3 parcels; access is provided from Mews Road off of Higley Road to the west. The site is part of the Santan Character Area with larger lot residential surrounding the site. The development meets the General Plan goal of encouraging low density development with rural-themed streetscapes. The ungated subdivision will have two access points along Mews Road and an internal loop road. All lots will have custom homes.

### **Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	Residential > 0-1 DU/Acre	Single Family-43 (SF-43)	Peterson Acres Subdivision
South	Residential > 0-1 DU/Acre	Maricopa County Rural-43 (RU-43)	Mews Road then Single Family Residential Homes/Agriculture
East	Residential > 0-1 DU/Acre	Maricopa County Rural-43 (RU-43)	Single Family Residential Homes

West	Residential > 1-2 DU/Acre	Single Family-15 (SF-15)	Single Family Residential Homes
Site	Residential > 1-2 DU/Acre	Single Family-15 (SF-15)	Single Family Residential Home/Vacant

### Pre-Plat Summary

Contreras Farms preliminary plat has 13 lots of varying sizes, ranging from a minimum of 15,342 sq. ft. to a maximum of 26,366 sq. ft. The exception on the plat is an existing single family residential home that will have access to Mews Road from the future public road S. Moccasin Trail. Three of the lots will front Mew's Road while all other lots will be accessed by the looped local street proposed. Mew's Road will be developed as a local street with the Agrarian Street cross section and the internal loop road will be developed to Town of Gilbert Agrarian Local Standards 50' R/W. There is a height restriction easement on the east 36.5' of Lot 6 at the request of the subdivision to the north as a means to keep views of the Santan Mountains to the south. A note is made on the plat to restrict structures or landscaping over 6' in height in this easement.

In coordination with the Town and the Mew's Meetinghouse project on the southeast corner of Higley and Mew's Road (DR18-117 approved November 5, 2018), a sewer line will be designed and constructed by VIP Homes from the Mew's Meetinghouse eastern boundary to the eastern boundary of Contreras Farms. The Town will design the roadway improvements along Mews Road from Higley to the eastern boundary of Contreras Farms and construct the roadway improvements. Construction will be in coordination with sewer line installation. The property owner will dedicate Mews Road right-of-way to the Town of Gilbert.

The project is planned to develop as a single phase. Please see the table below for the development standards reflected in this preliminary plat. The preliminary plat as shown is in substantial conformance with the General Plan and Land Development Code (LDC).

### Project Data Table

Site Development Regulations	Required per LDC Single Family -15 (SF-15)	Proposed Contreras Farms
Minimum Lot Area (sq. ft. per DU)	15,000	15,000
Minimum Lot Dimensions (width x depth)	110' x 120'	110' x 120'
Maximum Height (ft.)/Stories	30'/ 2-story	30'/ 2-story
Minimum Building Setbacks (ft.)		
Front	30'	30'
Side	15'	15'
Rear	30'	30'
Maximum Lot Coverage (%)	35% single-story 35% two-story	35% single-story 35% two-story

## **Open Space Plan**

The overall open space percentage for the proposed development is 17.8% (1.61 acres) with one main passive open space/retention area along the north perimeter of the property. The plant palette is comprised of Red Push Pistache and Southern Live Oak trees, Orange Jubilee, San Diego Red Bougainvillea, Valentine Bush, Petite Pink Oleander, Dwarf Myrtle, and Little John Dwarf Bottlebrush shrubs with groundcover incorporated throughout the six (6) landscape tracts in the subdivision. A sidewalk connection is proposed internal to the site along lots 1-5 and following the internal public roads from Tract B to Tract C. A technical variance has been submitted to the engineering department for a modification to the local street cross section to not provide sidewalk along Tract E because of the more rural Santan Character Area, the adjacent proposed retention area and the existing slope to the residential lots to the east.

The theme walls proposed are a split face CMU block wall 6'8" tall and stained "Harvest Brown" with an 8" wide band, columns, and wall cap all stained "Cocoa Brown." Column caps are concrete and columns will be 2' square and provided at the ends of wall segments. Theme walls are provided along landscape tracts where lots adjoin open space. The subdivision sign will be incorporated into the theme wall along "Tract A"; the CMU wall will receive a stucco finish with mortar cap where signage is proposed. Two existing walls along the north and east boundaries of the subdivision will be painted "Harvest Brown" internal to the site along open space. An existing chain link fence along the west boundary line will be replaced with a standard CMU builder wall as homes are constructed on Lots 1-5.

## **PUBLIC NOTIFICATION AND INPUT**

A notice of public hearing was published in a newspaper of general circulation in the Town, an official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205.

Staff has not received comment from the public.

## **STAFF RECOMMENDATION**

Move to Approve the Findings of Fact and S18-06, Contreras Farms: Preliminary Plat and Open Space Plan for approximately 9.04 acres consisting of 13 single family lots, generally located east of the northeast corner of Higley and Mews Roads and zoned Single Family 15 (SF-15), subject to following conditions.

1. The Final Plat and Open Space Plans for Contreras Farms and construction of the project shall be in substantial conformance with Exhibits 4: Preliminary Plat, Exhibit 5: Grading and Drainage, and Exhibit 6: Open Space Plan approved by the Planning Commission/Design Review Board at the January 9, 2019 public hearing.
2. Dedication to Gilbert for Mews Road right-of-way that is adjacent to the Property shall be completed prior to or at the time of recordation of the final plat or sooner as required by the Town Engineer. Dedication of Mews Road shall extend 25 feet from the center line.
3. The existing perimeter wall will be used as is or if needed, will be repaired or replaced by the Developer in coordination with adjacent property owners.



4. Future proposed signage complying with the Land Development Code shall be approved administratively by Planning Staff prior to submitting for sign permits.
5. A technical variance must be approved by the Town Engineer prior to final plat application to modify the Town of Gilbert local street cross section standard or the public local street must be developed to the Town of Gilbert local street cross section standard.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'S. B.', with a stylized flourish at the end.

Stephanie Bubenheim  
Planner II

**Attachments:**

- 1) Findings of Fact
- 2) Notice of Public Hearing
- 3) Aerial Photo
- 4) Preliminary Plat
- 5) Grading and Drainage
- 6) Open Space Plan

**FINDINGS OF FACT  
S18-06, Contreras Farms**

1. The project is consistent with the Residential Design Guidelines;
2. The project conforms to the General Plan and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby residential development; and
5. The project design provides for safe and efficient provision of public services.

## **Notice of Public Hearing**

**PLANNING COMMISSION DATE:**

**Wednesday, January 9, 2019\* TIME: 6:00 PM**

**LOCATION: Gilbert Municipal Center  
Council Chambers  
50 E. Civic Center Drive  
Gilbert, Arizona 85296**

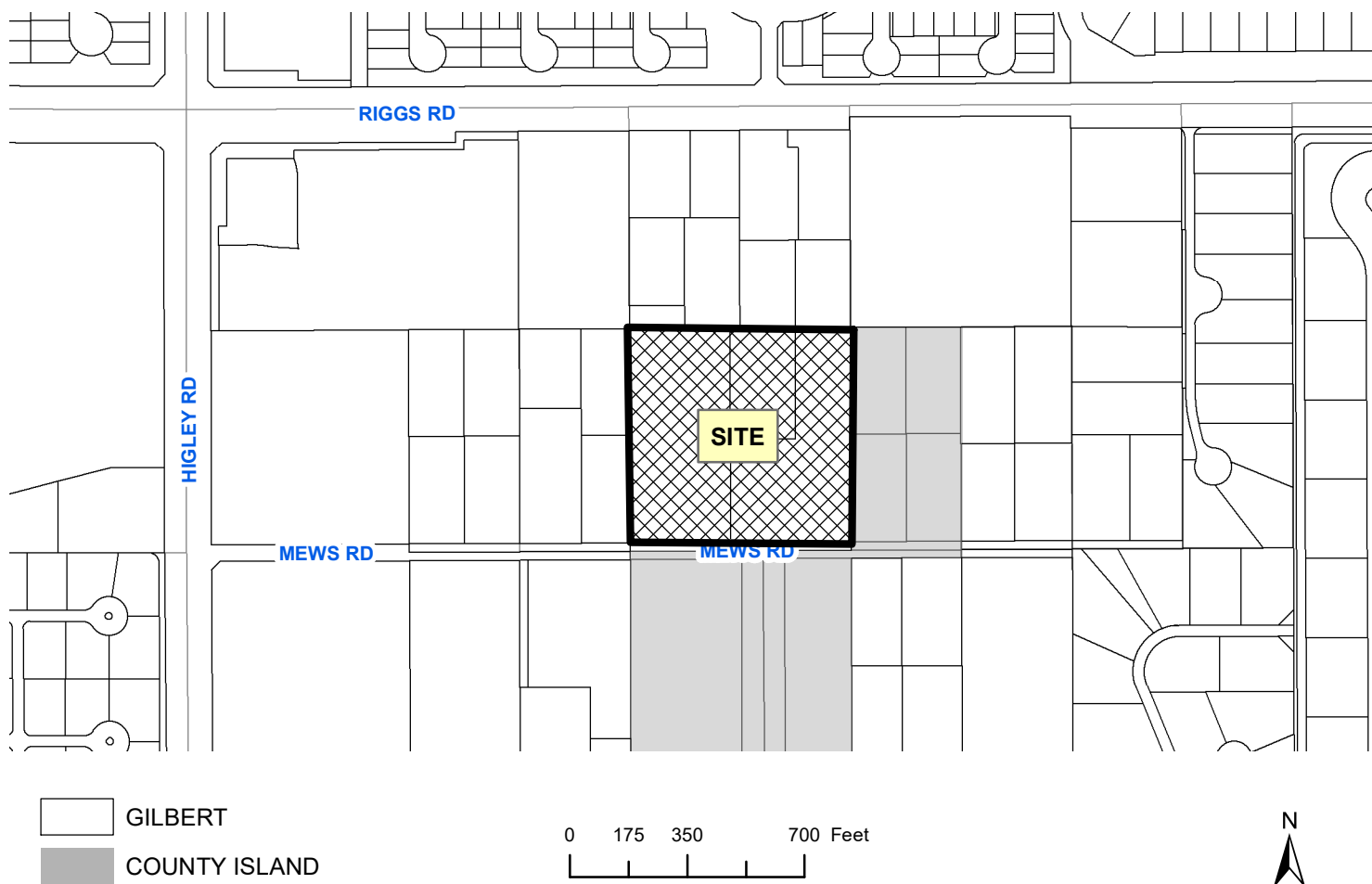
**\* Call Planning Department to verify date and time:  
(480) 503-6625**

### **REQUESTED ACTION:**

S18-06 Contreras Farms: Request to approve Preliminary Plat and Open Space Plan for Contreras Farms by VIP Homes, for 13 home lots (Lots 1-13) on approximately 9.04 acres of real property generally located east of the northeast corner of Higley and Mews Roads in the Single-Family 15 (SF-15) zoning district.

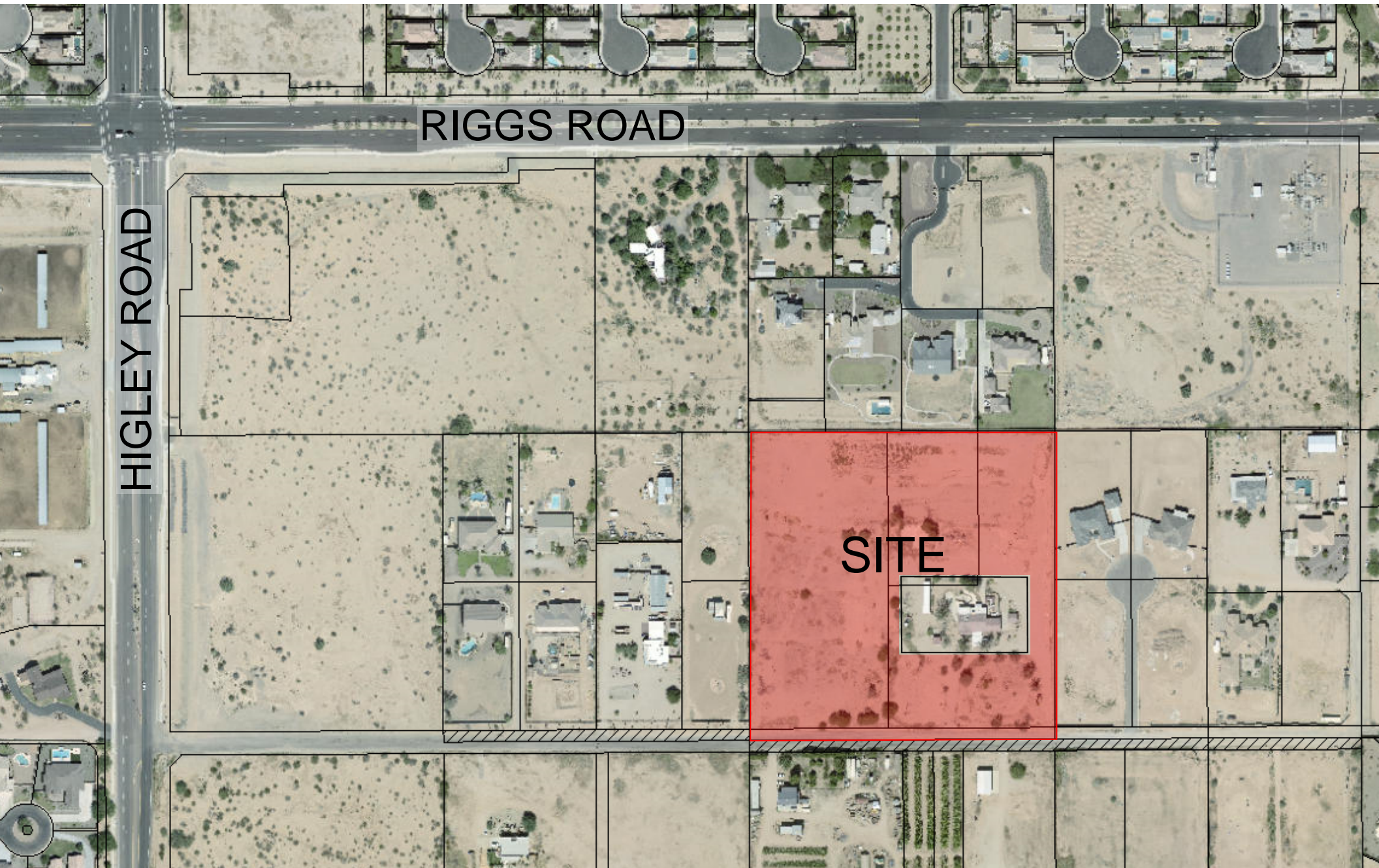
\* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <http://www.gilbertaz.gov/departments/development-services/planning-development/planning-commission>

### **SITE LOCATION:**



**APPLICANT: Bowman Consulting Group  
CONTACT: Troy Peterson  
ADDRESS: 1295 W. Washington Street, Ste. 108  
Tempe, AZ 85281**

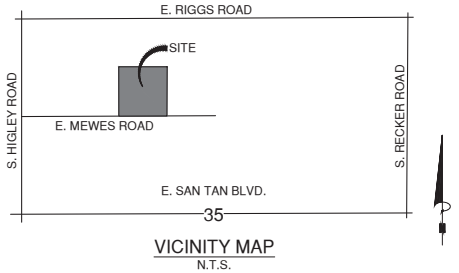
**TELEPHONE: (480) 629-8830  
E-MAIL: [tpeterson@bowmancg.com](mailto:tpeterson@bowmancg.com)**





PRELIMINARY PLAT  
FOR  
CONTRERAS FARMS  
GILBERT, ARIZONA

LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER  
OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 2 SOUTH,  
RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA



ENGINEER

BOWMAN CONSULTING  
1295 W. WASHINGTON STREET  
SUITE 108  
TEMPE, ARIZONA 85281  
CONTACT: NATHAN LARSON  
P: 480.629.8830

OWNER/DEVELOPER

VIP HOMES  
3048 E. BASELINE ROAD  
SUITE 102  
MESA, ARIZONA 85204  
CONTACT: TOM SENSEMAN  
P: 480.892.1654

BASIS OF BEARING

THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 2 SOUTH,  
RANGE 6 EAST, GILA AND SALT RIVER BASE AND MERIDIAN. THE SAID LINE ALSO  
BEING THE CENTERLINE OF RIGGS ROAD, WHICH BEARS NORTH 89°39'49" EAST,  
PER BOOK 589, PAGE 47, M.C.R.

BENCHMARK

A BRASS CAP IN HANDHOLE LOCATED AT THE INTERSECTION OF  
RIGGS ROAD AND HIGLEY ROAD, SAID POINT ALSO BEING THE  
NORTHWEST CORNER OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 6 EAST,  
GILA AND SALT RIVER BASE AND MERIDIAN.

ELEVATION = 1336.50 NAVD88 AND TOWN OF GILBERT DATUM

SITE DATA		
GROSS AREA	394,015.25 SF	9.05 AC
NET AREA	377,510.17 SF	8.67 AC
LOT SUMMARY		
LOT TOTAL	13	
TOTAL LOT AREA	232,221.32 SF	5.33 AC
AVG. LOT AREA	17,863.18	0.41 AC
MIN. LOT AREA	15,354.53 SF	0.35 AC
MAX LOT AREA	26,366.40 SF	0.61 AC
LOT %	58.94%	
PROPOSED DENSITY (GROSS)	1.44 DU/AC	
OPEN SPACE SUMMARY		
TOTAL OPEN SPACE AREA	70,129.72 SF	1.61 AC
OPEN SPACE % (GROSS)	17.80%	
RIGHT-OF-WAY SUMMARY		
RIGHT-OF-WAY AREA	91,664.22 SF	2.10 AC
RIGHT-OF-WAY %	23.26%	
RIGHT-OF-WAY LOCAL AREA	75,159.13 SF	1.73 AC
RIGHT-OF-WAY OFFSITE AREA	16,505.08 SF	0.38 AC

GENERAL PLAN:

RESIDENTIAL >1-2 DU/ACRE  
ZONING: SF-15

MINIMUM BUILDING SETBACKS:

SF-15 STANDARDS  
FRONT: 30 FEET  
SIDE: 15 FEET  
REAR: 30 FEET

MAXIMUM LOT COVERAGE

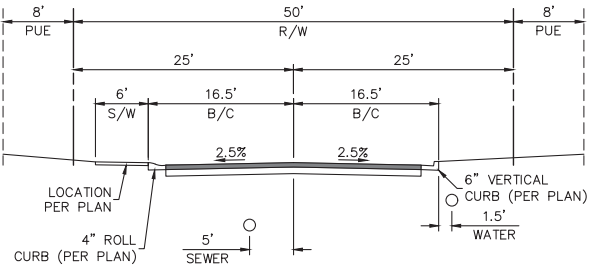
ONE STORY: 35%  
TWO/THREE STORY: 35%

MINIMUM LOT DIMENSIONS:

WIDTH: 110'  
DEPTH: 120'

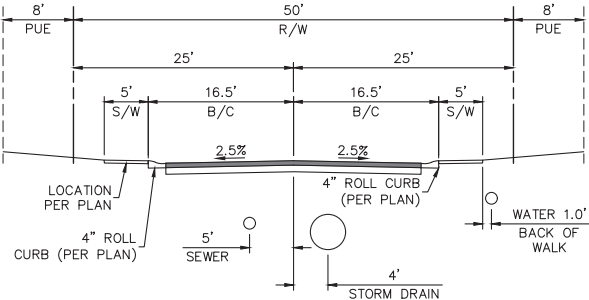
NOTE:

- STREET LIGHTS WILL BE PROVIDED THROUGH THE STANDARD T.O.G. CROSS SECTION DETAILS.
- THE HEIGHT RESTRICTION EASEMENT ON LOT 6 RESTRICTS ANY STRUCTURES OR LANDSCAPING OVER 6' IN HEIGHT
- ALL LINES UNDER 69KV WILL BE PLACED UNDERGROUND WITH THE DEVELOPMENT OF THIS PROJECT
- THE EXCEPTION PARCEL WILL MEET THE REQUIRED SETBACKS FOR SF-15.



LOCAL STREET (ONSITE)

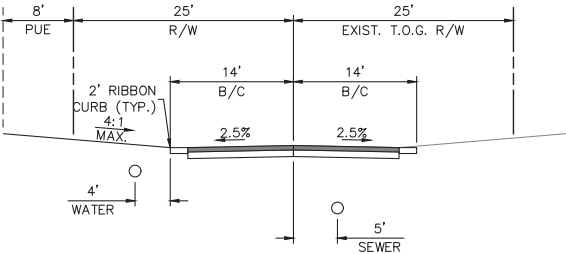
PER TOWN OF GILBERT  
FIGURE 4-13



SOUTH SUNNYVALE AVENUE

LOCAL STREET (ONSITE)

PER TOWN OF GILBERT  
FIGURE 4-13

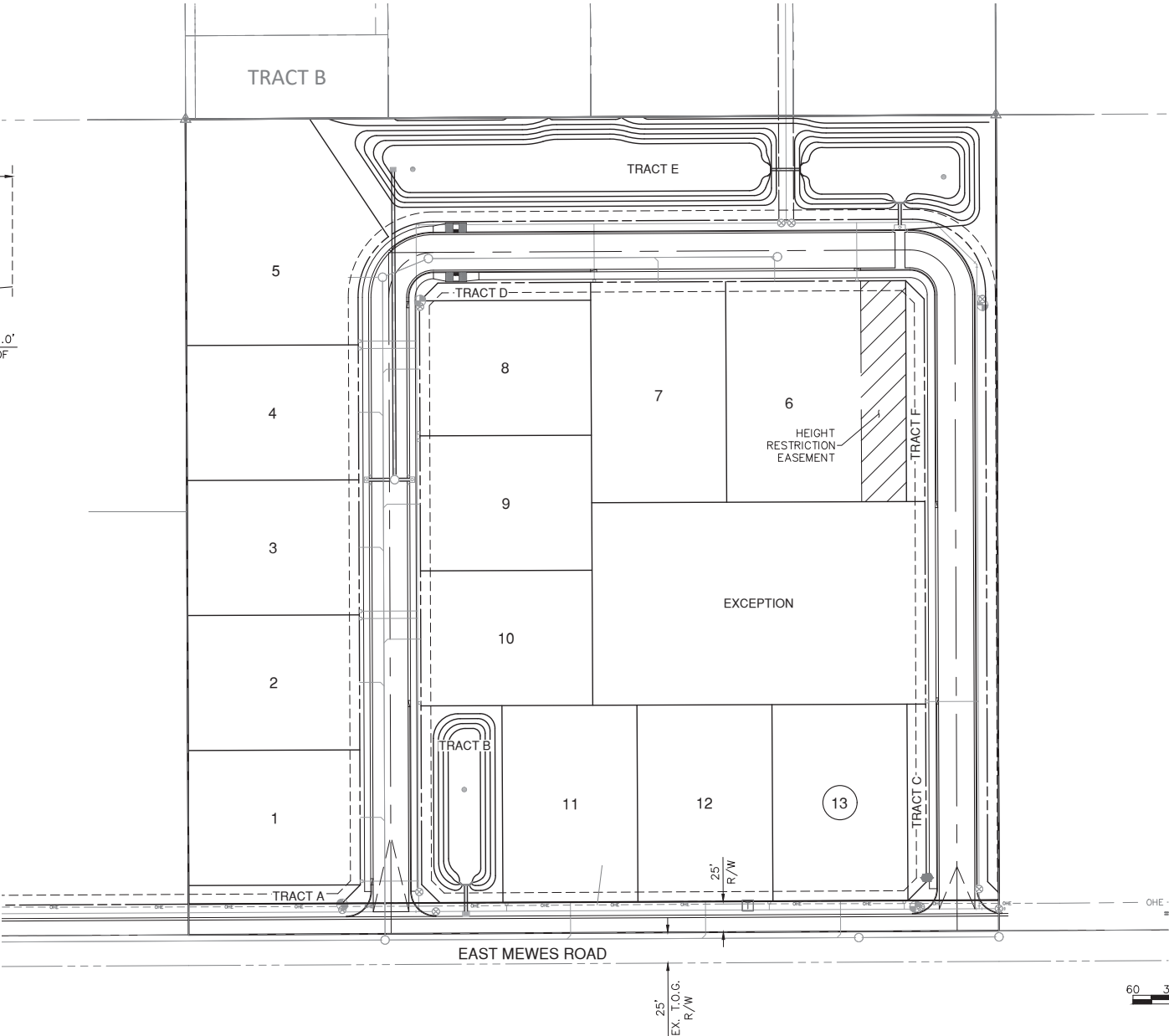


AGRARIAN STREET (MEWES ROAD)

PER TOWN OF GILBERT  
FIGURE 4-14  
(LOOKING EAST)  
TO BE BUILT BY THE TOWN OF GILBERT

LOT AREA	
LOT #	AREA
1	15400.00 SF
2	15400.00 SF
3	15400.00 SF
4	15400.00 SF
5	25497.51 SF
6	26366.40 SF
7	19764.93 SF
8	15354.53 SF
9	15370.66 SF
10	15387.69 SF
11	17644.19 SF
12	17626.53 SF
13	17608.88 SF

TRACT AREA			
TRACT ID	TRACT USE	AREA	AREA
A	OPEN SPACE, LANDSCAPE	1999.63 SF	0.05 AC
B	OPEN SPACE, LANDSCAPE, RETENTION	10493.20 SF	0.24 AC
C	OPEN SPACE, LANDSCAPE	2305.57 SF	0.05 AC
D	OPEN SPACE, LANDSCAPE	1912.80 SF	0.04 AC
E	OPEN SPACE, LANDSCAPE, RETENTION, WATER LINE EASEMENT	50831.40 SF	1.17 AC
F	OPEN SPACE, LANDSCAPE	2587.12 SF	0.06 AC

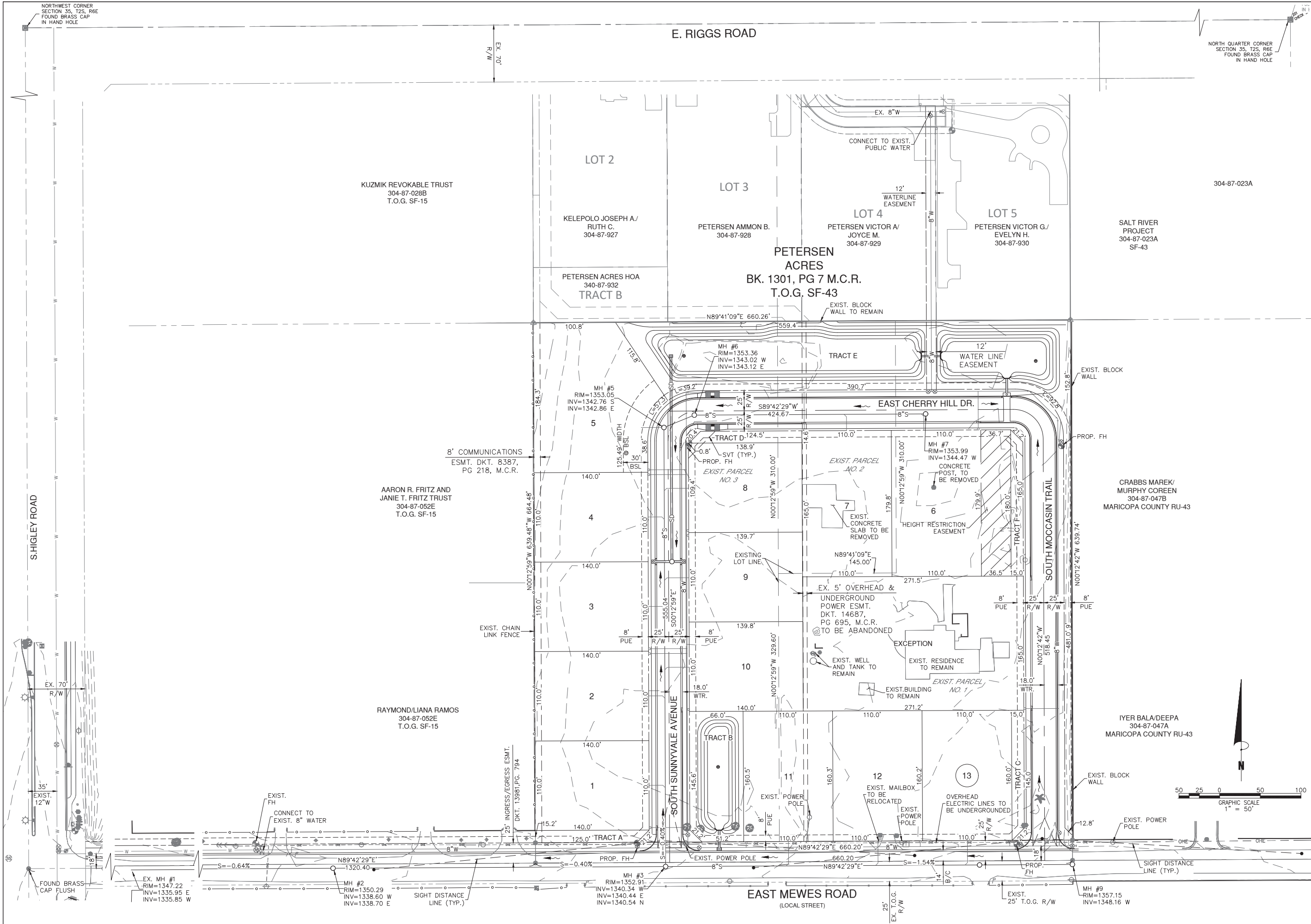


Sheet List Table

Drawing No.	Sheet No.	Sheet Title
PP01	01	PRELIMINARY PLAT
PP02	02	PRELIMINARY PLAT



DATE	DESCRIPTION		
	JAS DESIGN	JAS DRAWN	DTP CHKD



**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
1205 West Washington, Ste 108  
Tempe, Arizona 85281  
Phone: (480) 625-8830  
www.bowmanconsulting.com  
© Bowman Consulting Group, Ltd.

PRELIMINARY PLAT  
**CONTRERAS FARMS**  
MARICOPA COUNTY  
GILBERT, ARIZONA

PROJECT NUMBER



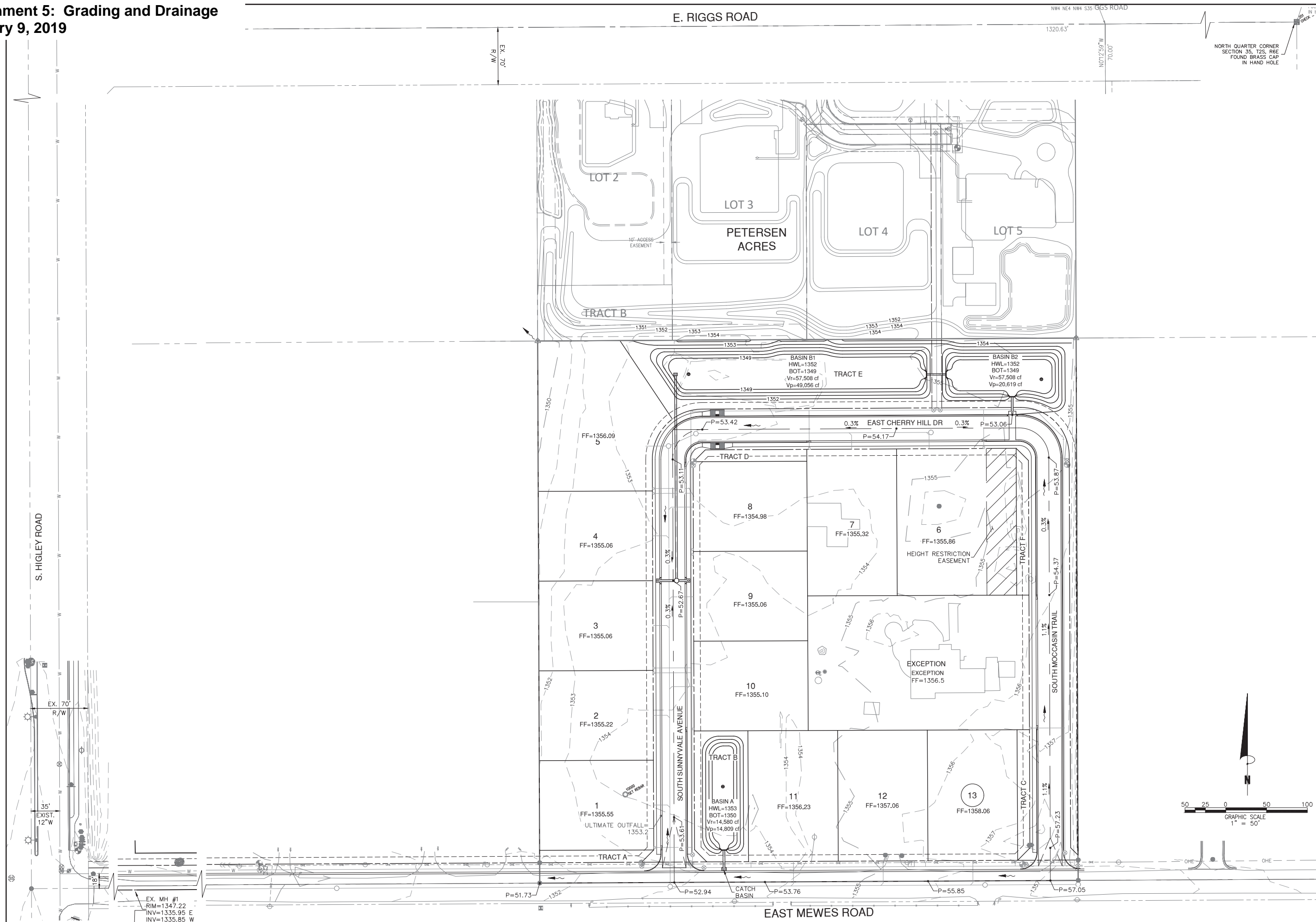
PLAN STATUS

DATE	DESCRIPTION	
JAS DESIGN	JAS DRAWN	DTP CHKD
SCALE	H: 1"=60' V:	
JOB No.	050447	
DATE	01.02.2019	

PP02

SHEET 02 OF 2

**S18-06 Contreras Farms**  
**Attachment 5: Grading and Drainage**  
**January 9, 2019**



**Bowman**  
CONSULTING

**Bowman Consulting Group, Ltd.**  
1295 West Washington Ste 108  
Tempe, Arizona 85281

Phone: (480) 629-8830


[www.bowmanconsulting.com](http://www.bowmanconsulting.com)

**Bowman Consulting Group, Ltd.**

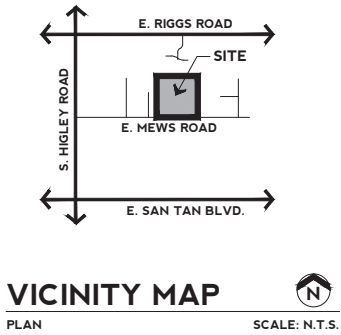
PRELIMINARY GRADING  
CONTRERAS FARMS

GILBERT, ARIZONA

MARICOPA COUNTY

PROJECT NUMBER		
		
PLAN STATUS		
DATE	DESCRIPTION	
JAS DESIGN	JAS DRAW	DTP CHKD
SCALE	H: 1"=60' V:	
JOB No. 050447		
DATE : 12/18/2018		
<div style="text-align: center; font-size: 2em; font-weight: bold;">GD01</div>		
SHEET	01	OF 1





PROJECT TEAM

**DEVELOPER**  
VIP HOMES  
3048 E. BASELINE ROAD, SUITE 102  
GILBERT, AZ 85204  
P: 480.392.1054  
CONTACT: TOM SENSEMAN

**CIVIL ENGINEER**  
BOWMAN CONSULTING  
1295 W WASHINGTON STREET, SUITE 108,  
TEMPE, AZ 85281  
P: (480)-629-8830  
CONTACT: NATHAN LARSON  
EMAIL: NLARSON@BOWMANCONSULTING.COM

**LANDSCAPE ARCHITECT**  
THOMAS + CROWLEY LLC  
126 E. CONSTITUTION COURT  
GILBERT, AZ 85296  
P: (480) 878.4708  
CONTACT: PAUL THOMAS, RLA  
EMAIL: PAUL@THOMAS-CROWLEY.COM



LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.
TREES			
	PISTACIA X 'RED PUSH' RED PUSH PISTACHE	24" BOX	73
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	24" BOX	26
LARGE SHRUBS			
	TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE	5 GAL.	50
	BOUGAINVILLEA 'SAN DIEGO RED' SAN DIEGO RED BOUGAINVILLEA	5 GAL.	115
SHRUBS			
	EROMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL.	75
	NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER	5 GAL.	171
	MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL.	6
	CALLISTEMON X 'LITTLE JOHN' LITTLE JOHN DWARF BOTTLEBRUSH	5 GAL.	5
GROUND COVER			
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	1 GAL.	111
	LANTANA MONTIVENDENSIS PURPLE TRAILING LANTANA	1 GAL.	4
TOP DRESSING			
	DECOMPOSED GRANITE EXPRESS BROWN SIZE: 1/2" SCREENED	83,619 S.F.	

LANDSCAPE CALC'S

COLLECTOR AND ARTERIAL STREETS  
1 TREE PER 25 LF WITH 3 SHRUBS PER TREE  
WITH 25% VEGETATIVE GROUND COVER  
REQUIRED: (265 LF. / 25)(1)(3)  
= 11 TREES, 33 SHRUBS  
PROVIDED: 11 TREES, 33 SHRUBS

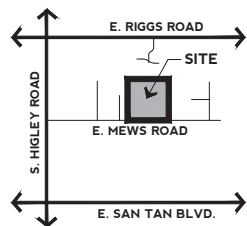
LANDSCAPE AREA

ON SITE LANDSCAPE AREA: 70,129 S.F.  
OFF SITE LANDSCAPE AREA: 13,490 S.F.  
TOTAL LANDSCAPE AREA: 83,619 S.F.

SITE DATA

LOCATION: HIGLEY ANDMEWS  
ZONING: SF-15  
GROSS AREA: 394,015 S.F. (9.05 AC)  
NET AREA: 377,510 S.F. (8.67 AC)  
OPEN SPACE: 70,129 S.F. (1.61 AC)  
OPEN SPACE %: 17.80%  
TOTAL LOTS: 13  
MIN LOT AREA: 15,354 S.F. (.35 AC)  
MAX. LOT AREA: 26,366 S.F. (.61 AC)  
AVERAGE LOT AREA: 17,863 S.F. (.41 AC)  
DENSITY: 1.44 DU/AC





## VICINITY MAP

PLAN



## PROJECT TEAM

### DEVELOPER

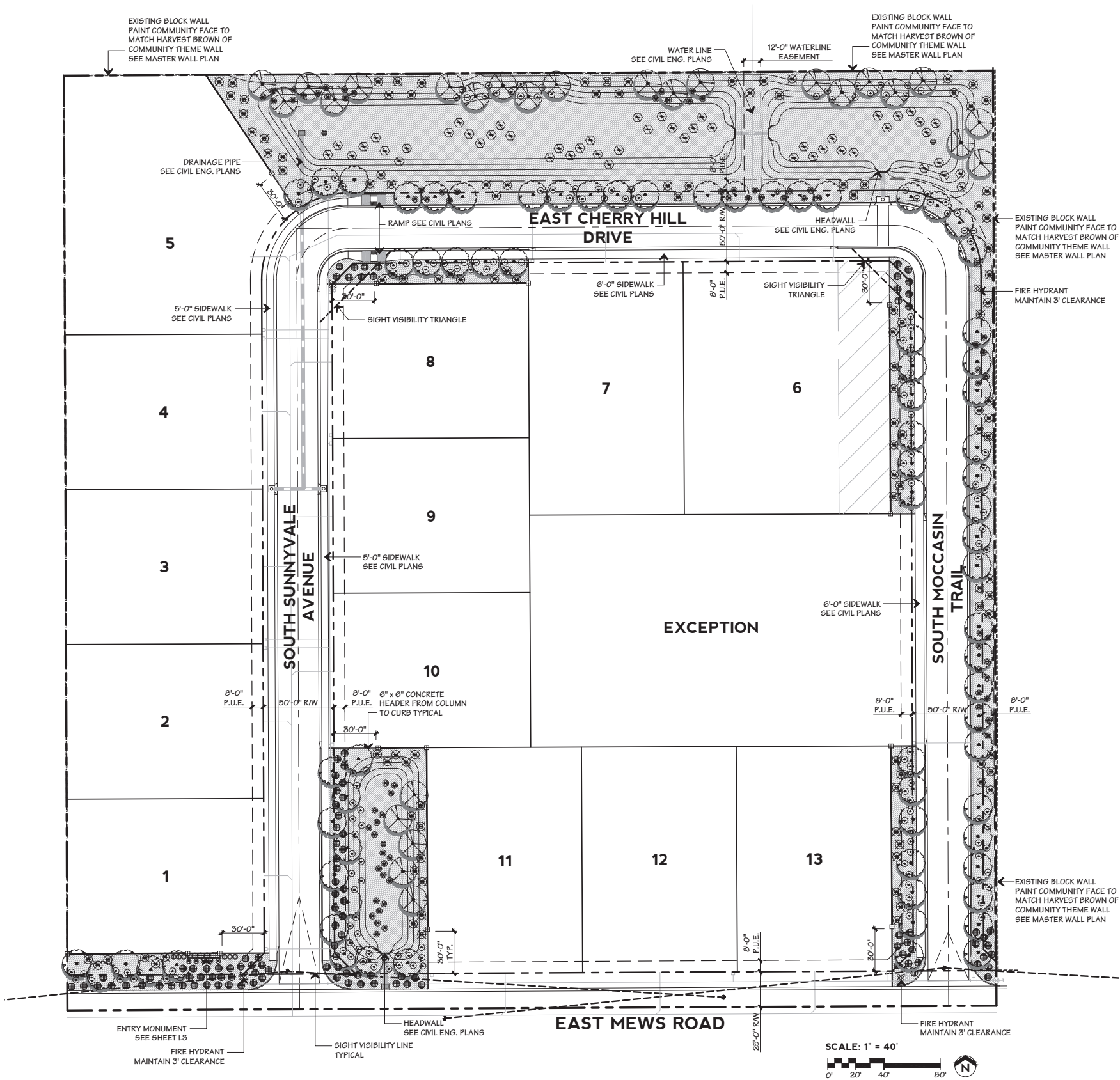
VIP HOMES  
3048 E. BASELINE ROAD, SUITE 102  
GILBERT, AZ 85204  
P: (480) 392-1054  
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### CIVIL ENGINEER

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1295 W WASHINGTON STREET, SUITE 108,  
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CONTACT: NATHAN LARSON  
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### LANDSCAPE ARCHITECT

THOMAS + CROWLEY LLC  
126 E. CONSTITUTION COURT  
GILBERT, AZ 85296  
P: (480) 878-4708  
CONTACT: PAUL THOMAS, RLA  
EMAIL: PAUL@THOMAS-CROWLEY.COM



## LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.
<b>TREES</b>			
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	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	24" BOX	26
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	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	1 GAL.	111
	LANTANA MONTIVENDESIS PURPLE TRAILING LANTANA	1 GAL.	4
<b>TOP DRESSING</b>			
	DECOMPOSED GRANITE EXPRESS BROWN SIZE: 1/2" SCREENED	83,619 S.F.	

## LANDSCAPE CALC'S

### COLLECTOR AND ARTERIAL STREETS

1 TREE PER 25 L.F. WITH 3 SHRUBS PER TREE  
WITH 25% VEGETATIVE GROUNDCOVER

REQUIRED: (265 L.F. / 25)(1)(3)  
= 11 TREES, 33 SHRUBS

PROVIDED: 11 TREES, 33 SHRUBS

## LANDSCAPE AREA

ON SITE LANDSCAPE AREA: 70,129 S.F.

OFF SITE LANDSCAPE AREA: 13,490 S.F.

TOTAL LANDSCAPE AREA: 83,619 S.F.

## SITE DATA

LOCATION:	HIGLEY ANDMEWS
ZONING:	SF-15
GROSS AREA:	394,015 S.F. (9.05 AC)
NET AREA:	377,510 S.F. (8.67 AC)
OPEN SPACE:	70,129 S.F. (1.81 AC)
OPEN SPACE %:	17.80%
TOTAL LOTS:	13
MIN LOT AREA:	15,354 S.F. (.35 AC)
MAX. LOT AREA:	26,366 S.F. (.61 AC)
AVERAGE LOT AREA:	17,863 S.F. (.41 AC)
DENSITY	1.44 DU/AC



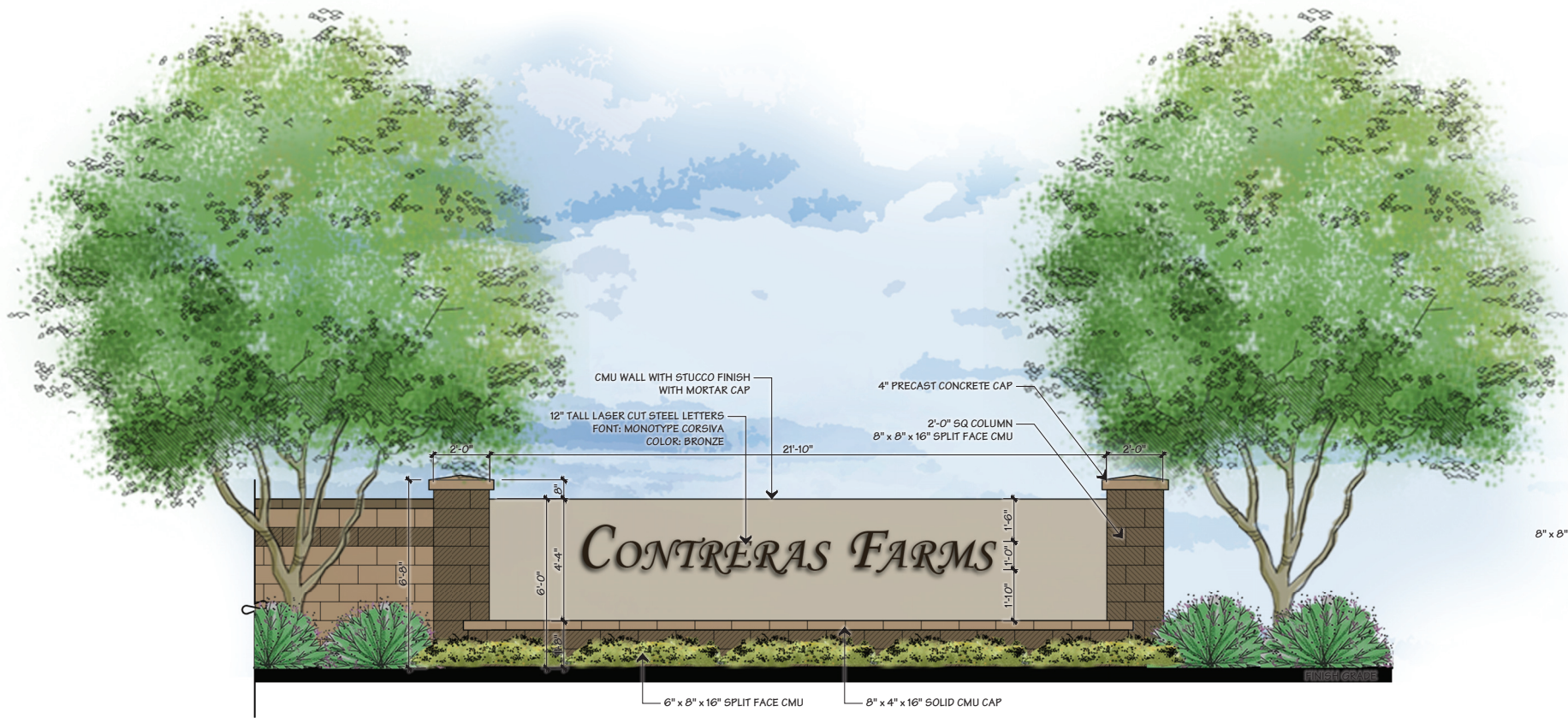
### WALL LEGEND

**A** **THEME WALL**  
SEE DETAIL 2/L3

**B** **BUILDER WALL**  
PER TOWN OF GILBERT  
STANDARD DETAILS

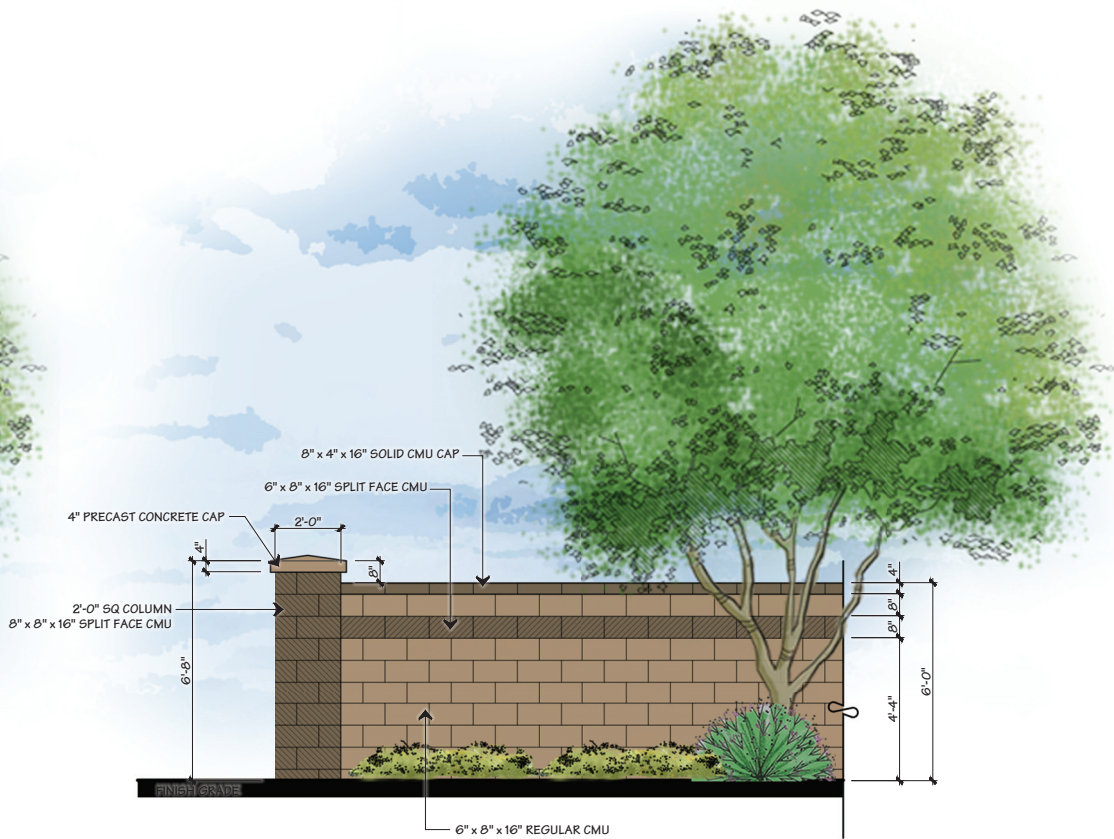
- ### WALL NOTES
- SEE SHEET L3 FOR ALL WALL DETAILS
  - ALL LOT & PROPERTY LINES (WITHOUT A WALL SYMBOL) THAT REQUIRE A WALL SHALL BE CONSTRUCTED OF BUILDER WALL (OR EQUAL) PER TOWN OF GILBERT STANDARDS.
  - WALLS FOLLOW REAR AND SIDE LOT PROPERTY LINES UNLESS OTHERWISE SHOWN (SEE ENGINEERING FINAL PLAT FOR DIMENSIONS).
  - A 6"x6" CONCRETE HEADER SHALL BE PLACED BETWEEN THE WALL COLUMN SETBACK & SIDEWALK WHERE PROPERTY LINE OCCURS.
  - ALL WALLS SHALL BE CONSTRUCTED OUTSIDE OF RIGHT OF WAYS, PUBLIC UTILITY EASEMENTS AND SIGHT VISIBILITY TRIANGLES PER TOWN OF GILBERT STANDARDS





1 ENTRY MONUMENT

SCALE: 3/8" = 1'-0"



2 THEME WALL

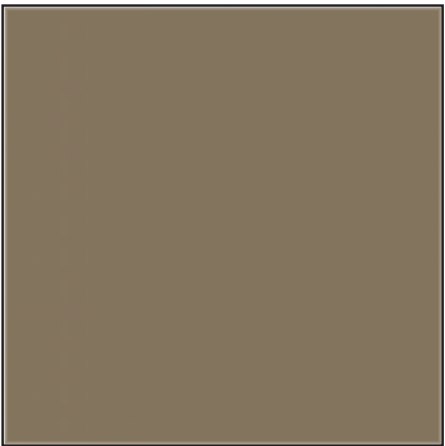
SCALE: 3/8" = 1'-0"



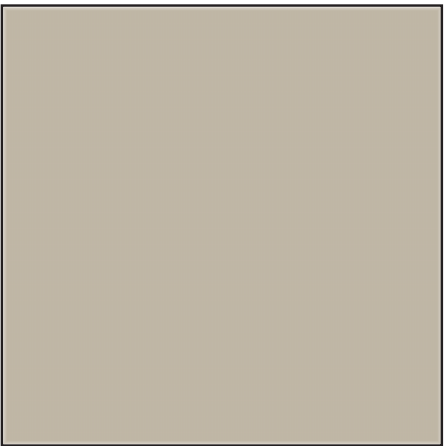
REGULAR CMU & SOLID CMU CAP  
COLOR: STAIN TO MATCH SUPERLITE HARVEST BROWN  
(OR EQUAL)



SPLIT FACE CMU & SOLID CMU CAP  
COLOR: STAIN TO MATCH SUPERLITE COCOA BROWN  
(OR EQUAL)



PRECAST CAP  
COLOR: STAIN TO MATCH SUPERLITE HARVEST BROWN  
(OR EQUAL)



STUCCO  
COLOR: PAINT SHERWIN WILLIAMS #7506 LOGGIA  
(OR EQUAL)



LASER CUT STEEL LETTERING  
COLOR: BRONZE